

## **ORDINANCE #983**

### **AN ORDINANCE TO AMEND THE OFFICIAL LANDSCAPE ORDINANCE IN THE CITY OF COLLEGEDALE, TENNESSEE**

**WHEREAS**, the City of Collegedale, Tennessee has adopted a municipal code by the authority granted in Tennessee Code Annotated (TCA) Section 6-19-101; and

**WHEREAS**, TCA Section 6-20-215 enables a municipality with the authority to amend ordinances;

#### **BE IT ORDAINED BY THE CITY OF COLLEGEDALE AS FOLLOWS:**

That Chapter Seven (7) entitled "Landscape Ordinance" of Title Fourteen (14) entitled "Zoning and Land Use Controls" of the Collegedale Municipal Code is hereby deleted in its entirety and replaced with the following:

**TITLE 14**  
**CHAPTER 7**  
**CITY OF COLLEGEDALE LANDSCAPE ORDINANCE**

**Section 14-701.**

**Intent**

Collegedale's scenic landscapes are closely tied to the community's quality of life, community identity, and civic pride. These landscapes also form the critical first impressions of potential new employers, homeowners, and tourists, thus affecting Collegedale's economy.

Landscaping provides important environmental benefits such as reducing air pollution and storm water runoff, improving water quality, and creating wildlife habitats. Landscaping requirements are one of the many tools used for protecting and enhancing a community's scenic quality and visual character of the community.

The purpose and intent of this Article are the following:

- To promote the scenic quality and visual character of the community;
- To improve the appearance of parking areas and property abutting public rights-of-way;
- To protect property values;
- To reduce storm water runoff and improve water quality;
- To provide transition between incompatible land uses;
- To provide relief from traffic, noise, heat, glare, dust, and debris;
- To stabilize soil and prevent erosion;
- To encourage preservation of desirable trees; and,
- To filter pollutants from the air and release oxygen.

**Section 14-702.**

## **Definitions**

Caliper – a measurement of the trunk diameter measured at 2 ½ feet above grade level.

Class 1 Shade Trees – any plant having a central trunk, an expected maturity height of at least 35 feet, and an expected minimum mature canopy spread of 20 feet.

Gross Floor Area (GFA) – the total interior space as defined by the International Building Code.

High Density Residential – for the purposes of this ordinance, high density residential includes zones R-1-H, R-3, and MUTC.

Impervious Surfaces – includes concrete, asphalt, brick, metal, gravel or any other material constructed and erected on landscaped or natural buffer areas that impede the percolation of water into the ground.

Interior Parking Bay – all parking bays that do not qualify as a perimeter bay.

Landscaped area/Landscape yard – an area to be planted with grass, trees, shrubs or other natural ground cover. No impervious surfaces are permitted in these areas with the exception of areas approved and used for ingress and egress.

Landscaped Peninsula - a landscaped area defined by a curb and surrounded by paving on three sides.

Landscape Professional – includes Landscape Architects (registered in the state of Tennessee), landscape designers (educated in landscape design concepts), and other landscape professionals as approved by the City of Collegedale.

Natural Buffer – an area of land set aside for preservation in its natural vegetative state. Plants may not be removed with the exception of poisonous or non-native plant species. In addition, fill/cutting activities, storage of materials, and impervious surfaces are not permitted in these areas.

New Development – construction of a new building or structure on its own lot is considered as new development. New buildings or structures constructed on a lot which already contains existing buildings is considered as an expansion.

Ornamental Shade Trees – any plant having a central trunk, a maximum expected maturity height of 20 feet.

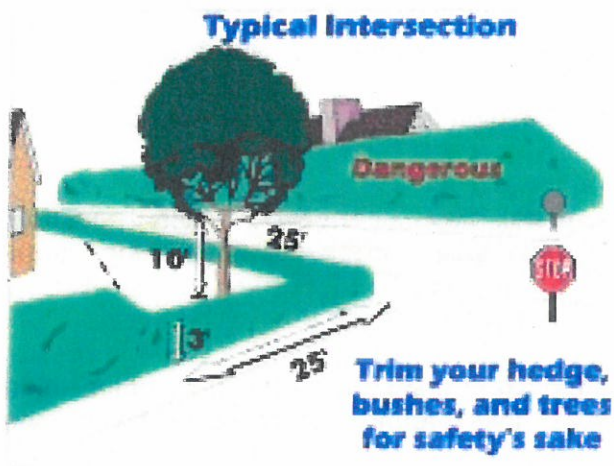
Perimeter Bay – all parking bays that are adjacent to the perimeter of a development.

Right-of-Way. The area between the property line and the sidewalk/curb, or the edge of pavement is the right-of-way.

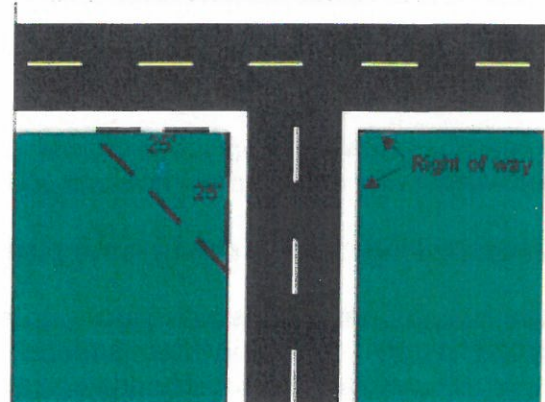
Screening Shrubs – evergreen shrubs that maintain foliage year-round.

Screening Trees – evergreen trees that maintain foliage year-round.

Sight Triangles (Intersection Sight Distances) – formed by the intersection of property lines and continues twenty-five (25) feet along the property lines.



### Visibility Requirements at Intersections



Street Yard – the space between the edge of the right-of-way and the principal building. It is composed of grass and other natural plantings to promote ingress and egress safety and to add visual interest to expanses of surface parking lots.



**Section 14-703.**

## **General Provisions**

**A. Applicability.** The requirements of this Section shall apply to:

1. All new development in all zones
2. Existing developments in all zones
  - a) For existing developments and parking facilities, expansion in gross floor area (GFA) or parking spaces will trigger landscaping requirements based on the scope of work proposed as established below.
  - b) Any modifications of landscaping requirements allowing for the expansion of existing manufacturing facility shall be reviewed and approved by the City of Collegedale.
  - c) Where both the building expansion and parking lot expansion requirements are applicable, the building expansion requirements shall supercede.

**B. Building Expansions.** When an expansion:

1. Increases GFA at least 10% but no more than 25%, then the entire property shall comply with the landscaped street yard or parking lot landscaping requirements (option of applicant).
2. Increases GFA more than 25%, then the entire property shall meet all of the landscape ordinance requirements.

**C. Parking Lot Expansions.** When an expansion:

1. Increases the total number of parking spaces no more than 25%, then the expanded portion of the parking lot shall comply with the landscaping requirements.
2. Increases the total number of parking spaces more than 25% but no more than 50%, then 50% of the existing parking lot(s) within the property and all of any expanded parking lot portions shall comply with the parking lot landscaping requirements.
3. Increases the total number of parking spaces more than 50%, then the expanded and existing parking lot(s) within the property shall comply with the parking lot landscaping requirements.

**D. Replacement.** Vegetation planted or preserved that does not remain alive shall be replaced with equivalent vegetation. Preserved trees for which credit was awarded but which subsequently die, shall be replaced with a tree of the same variety of at least 4" caliper, and at least 18 feet in height. The replacement of dead landscape material shall be the responsibility of the current property owner. If any of the material should fail to survive it would be replaced during the appropriate planting season.

- E. **Irrigation.** Required landscaping shall be irrigated by one of the following methods for all zones, except R-1-L, R-2, and AG:
1. An underground sprinkler system;
  2. Automatic drip system,
- F. **Plant Guarantee.** Guarantee from the developer and/or owner that all plant materials will be warranted following installation. If the developer sells the property, then the new owner assumes responsibility for maintaining all landscaping. Refer to Section 14-704.B.19
- G. **Soil and Climatic Conditions.** Trees and other vegetation shall be planted in soil and climatic conditions which are appropriate for the growth habits. Native vegetation is preferred. Plants used in the landscape design shall to the greatest extent be:
1. Appropriate to the conditions in which they are to be planted;
  2. Have non-invasive growth habits;
  3. Encourage low maintenance, high quality design; and,
  4. Otherwise consistent with the Intent of this Ordinance.
- H. **Sod Requirement.** Sod shall be used where grass is required.
- I. **Minimum Requirements.** The requirements within the Landscape Ordinance are the minimum standards. Additional landscaping above and beyond these requirements that help to achieve an aesthetically pleasing site is encouraged by the City of Collegedale.

**Section 14-704.**

## **Landscape/Plant Installation Plan Submittal Requirements**

**A. Other Landscape Plan Submittal Requirements**

1. Three (3) copies of the proposed landscape and/or development site plan shall be submitted to the Planning and Economic Development Coordinator.

**B.** Proposed developments subject to the provisions of this Section and prior to or at the time of submittal of a Site Plan shall submit a Landscape/Plant prepared by a registered landscape architect or by a landscape professional as approved by the City of Collegedale, and all of the requirements of that plan must be fulfilled before a Certificate of Occupancy may be granted. This Landscape/Plant Installation Plan may be incorporated into a site plan, provided the scale is not less than one (1) inch equals forty (40) feet. The following elements shall be shown on the Landscape/Plant Installation Plan:

1. Street yard as required for all non-residential, high density residential, and industrial developments;
2. Interior parking lot landscaping as required for all non-residential, high density residential, and industrial developments;
3. Landscape perimeter as required for all non-residential, high density residential, and industrial developments;
4. Zoning of site and adjoining properties;
5. Existing and proposed contours at two (2) feet intervals or less;
6. Boundary lines and lot dimensions;
7. Date, graphic scale, north arrow, title and name of owner, and the phone number of the person or firm responsible for the landscape plan;
8. Location of all proposed structures and storage areas;
9. Drainage features and 100-year floodplain, if applicable;
10. Parking lot layout including parking stalls, bays, and driving lanes;
11. Irrigation plan;
12. Existing and proposed utility lines, and easements;
13. All paved surfaces and curbs;
14. Existing trees or natural areas to be retained (refer to Section 14-715);

15. Location of all required landscaping areas (street yard, landscaped peninsulas, landscaped islands, foundation plantings, and screening buffers);
16. Location, installation size, quantity, and scientific and common names of landscaping to be installed;
17. The spacing between trees and shrubs used for screening;
18. Sight triangles
19. Plant warranty (signed and dated by the owner):  
*"I (We) hereby guarantee to the City of Collegedale that the plant materials shown on this plan shall remain alive and after issuance of the final Certificate of Occupancy. Any plant material that dies or is damaged shall be replaced in the next appropriate planting season with equivalent material. If the property is sold, this guarantee shall become the responsibility of the new owner."*



**Section 14-705.**

## **Hardships**

This Section does not intend to create undue hardship on affected properties. The required landscaping should not exceed 15% of the total area. For existing developments, where the GFA or parking areas are being increased, the loss of off-street parking spaces (required by the City of Collegedale Zoning Ordinance) as a result of compliance with the landscaping provisions should not exceed 10%.

### **A. Special Administrative Remedies**

1. Lots which front on more than one (1) street with the following special exception:
  - a) All street frontages other than the primary street frontage may have a landscaped street yard with a minimum depth of four (4) feet.
2. In situations where the landscape requirements would result in the demolition of an existing building, a loss of more than 10% or the gross required off-street parking for an existing development; or, a loss greater than 15% of the lot area for development, the following administrative remedies may be applied:
  - a) Reduce the required minimum landscaped area widths up to 50%; and,
  - b) Reduce the tree planting requirements by up to 25%.

### **B. Administrative Guidelines**

1. Where possible, reduction of landscaping requirements in one (1) area should be offset by an increase of landscaping requirements in other portions of the site.
2. The first priority is to provide trees and shrubs along the street frontage.
3. The second priority is to provide trees within portions of the parking lot that are highly visible from the street.
4. A screen should always be provided as required by this Section. Where there are space limitations, reduce the landscape yard as necessary. If the planting area is less than five (5) feet in width, require a minimum six (6) feet tall wood or composite fence or masonry wall.

### **C. Conflict with Other Articles in the Zoning Ordinance and Existing Zoning Conditions**

1. Where any requirement of this Section conflicts with the requirement of another Article of the existing zoning conditions in the City of Collegedale Zoning Ordinance, the most restrictive requirement shall apply.

## Section 14-706.

# Landscaped Street Yard

The landscaped street yard serves to provide an aesthetically pleasing transition from the public right-of-way to private property. This street yard also allows the motorist or pedestrian to see the commercial building's façade but not the parking lots, thus screening the parking areas from view. When a parking lot is located adjacent to a public right-of-way, a strip of landscaping helps shield projecting headlights that may impair the vision of passing motorists or pedestrians therefore creating a safer environment.



- A. Street Yard Options. The site plan for any non-residential or high density residential development, – other than that exempt in **Section 14-702 Exemptions** – shall show a landscaped street yard along all public rights-of-way. The applicant may choose one or a combination of the four (4) options illustrated below:

**NOTE:** The following standards for trees should not be construed as mandating a continuous line of trees spaced in an equidistant fashion within the street yard.

1. 10' Street Yard

a) *Minimum width:*

- i. Ten (10) feet

b) *Minimum number of trees required:*



- i. One (1) Class 1 Shade Tree, and one (1) Ornamental Shade Tree per thirty-five (35) linear feet of street frontage.
  - c) *Minimum number of shrubs required:*
    - i. Twelve (12) shrubs per twenty-five (25) linear feet of street frontage. A minimum of 50% of shrubs required shall be evergreen.
2. Earth Berm
- a) *Minimum height:*
    - i. Two and one-half (2 ½) feet higher than the finished elevation of the parking lot.
  - b) *Minimum width:*
    - i. Three to one (3:1) slope (i.e. 15 feet in width to 2.5 feet in height)
  - c) *Minimum number of trees required:*
    - i. One (1) Class 1 Shade Tree and one (1) Ornamental Shade Tree per thirty-five (35) linear feet of street frontage.
  - d) *Minimum number of shrubs:*
    - i. Five (5) shrubs per twenty-five (25) linear feet of street frontage. A minimum of 50% of the shrubs required shall be evergreen.
3. 6' Street Yard:
- a) *Minimum width:*
    - i. Six (6) feet of landscaped street yard with three (3) feet of fall away from street, and out of the right-of-way.
  - b) *Minimum number of trees:*
    - i. One (1) Class 1 Shade Tree and one (1) Ornamental Tree per thirty-five (35) linear feet of street frontage.
  - c) *Minimum number of shrubs:*
    - i. Three (3) shrubs per twenty-five (25) linear feet of street frontage. A minimum of 50% of shrubs required shall be evergreen.
4. 25' Street Yard
- a) A landscaped street yard with existing woodlands maintained in twenty-five (25) feet strips along the street frontage.
  - b) Existing woodlands to be set aside shall have a minimum depth of twenty-five (25) feet as measured from the public street right-of-way.

- c) Number of woodland trees (not including prohibited trees) having a minimum caliper of six (6) inches shall equal or exceed the minimum street planting ratio of one (1) Class 1 Shade Tree and one (1) Ornamental Tree per thirty-five (35) feet per linear feet;
- d) No impervious surfaces are permitted within the protected woodlands area except for approved access points to the site; and,
- e) No cutting/filling activities or storage or materials/equipment are permitted within the protected woodlands.

- B. **Massing.** Massing is multiple rows of alternating plant materials with a combination of trees and shrubs. Massing is strongly encouraged. The maximum distance between massing is twenty-five (25) feet. Massing should be integrated into a bed or in a curb to ease maintenance.
- C. **Sight Distances.** A sight distances at intersections and points of access must be maintained. No landscaping shall constitute a hazard to traffic, including but not limited to landscaping located within the required sight triangles of an intersection.
- D. **Prohibition.** Parking, merchandise display, signage and off-street loading are prohibited in the landscaped street yard.
- E. **Exemptions/Special Situations.** Where overhead power lines encroach into the street yard, smaller ornamental shade trees can be substituted for shade trees. See **Section 14-713 Plant Installation Specifications** (Ornamental Shade Trees).



Section 14-707.

## Groundcover

- A. **Living Material.** Living materials, such as sodded grass, shall make up a minimum of 80% of the groundcover for the landscaped street yard. But, 100% of living materials is encouraged.
- B. **Mulch.** Wood mulch or pine straw may make up 20% of the groundcover for the landscaped street yard. Weed barrier shall be required. Gravel, concrete, brick pavers or other pavement is not appropriate groundcover for the street yard.
- C. **Right-of-Way.** The area between the property line and the sidewalk/curb, or edge of pavement is the right-of-way. A groundcover of fescue sod shall be used in the right-of-way. Mulch is prohibited.

**Section 14-708.**

## **Landscape Perimeter**

Perimeter landscaping is a peripheral planting strip along rear and side lot lines that separates uses and/or zones. It is used to define parking areas, prevent two adjacent properties from becoming on large expanse of pavement, provide vegetation in densely developed areas, screen vehicular use areas from view of public streets and adjacent uses in accordance with the following standards, and enhance the appearance of individual properties.

- A. **Requirement.** The site plan for any non-residential, high density residential, industrial development, other than those exempt, shall show perimeter landscaping, in addition to the landscaped street yard required in **Section 14-706 Landscaped Street Yard**.
1. Width.
    - a) A five (5) foot landscaped strip is required along the side and rear lot lines of a development.
    - b) The five (5) foot perimeter strip is required for each development regardless if one is already in place from an adjacent, developed lot.
  2. Minimum number of trees:
    - a) One (1) tree per fifty (50) linear feet.
  3. Continuous Visual Screen. The planting strip shall contain a continuous hedge composed of a double staggered row of evergreen shrubs with a minimum planting height of thirty (30) inches and maximum center spacing of three (3) feet.
  4. Groundcover. All perimeter landscaped areas not dedicated to preservation of existing vegetation shall be landscaped with groundcover.
    - a) Living Material. Living materials, such as sodded grass, shall make up a minimum of 80% of the groundcover for the landscaped perimeter. 100% of living material is strongly encouraged.
    - b) Mulch. Wood mulch or pine straw may make up 20% of the groundcover for the landscaped perimeter. Gravel, concrete, brick pavers or other pavement is not an appropriate groundcover. Weed barrier shall be required.
- B. **Vehicular Access.** The perimeter landscaping requirement does not preclude the need for vehicular access to be provided between lots.
- C. **Pavement.** No pavement may be located within five (5) feet of the property line on any lot unless it is included with an ingress/egress location.

Section 14-709.

## Screening

Screening and buffering will be required to provide a transition between land uses and/or zones and protect the integrity of less-intensive uses from more intensive uses. It also provides a year-round visual obstruction and transition between incompatible land uses and/or zones by requiring a landscape yard of a specified minimum depth along the shared property line.



Example: Proper Screening of Commercial Building

- A. **Procedure.** Refer to the matrix below to determine any screening requirements for the proposed development. First, identify the type of zoning for the proposed development (along the left side of the matrix) and each adjoining property (along the top of the matrix). Second, find where the zoning of the proposed development and each adjoining property intersect on the matrix. If a screen is required, a capital letter will indicate the type of screen to be applied. A description of each screen type is provided in this Section.

NOTE: Adjacent land uses within the same zone may require additional screening (to be determined by the City of Collegedale).



Table 14-709A Screening						
Proposed	Adjacent Property					
		Industrial	Commercial	University	High Density Residential	Low Density Residential
	Industrial	X, D, E	C, E, D	B, E, D	A, E, D	A, E, D
	Commercial	C, E, D	X, D, E	B, E, D	B, E, D	B, E, D
	University	C, E, D	C, E, D	X, D, E	B, E, D	B, E, D
	High Density Residential	A, E, D	B, E, D	C, E, D	C, E, D	C, E, D
	Low Density Residential	A, E	B, E	C, E	C, E	C*, E
Zoning Districts are not considered to be adjacent if separated by a right-of-way of at least fifty (50) feet in width. *Nothing in this provision shall require screening between individual single-family lots within a subdivision.						
X = No Screen Required						

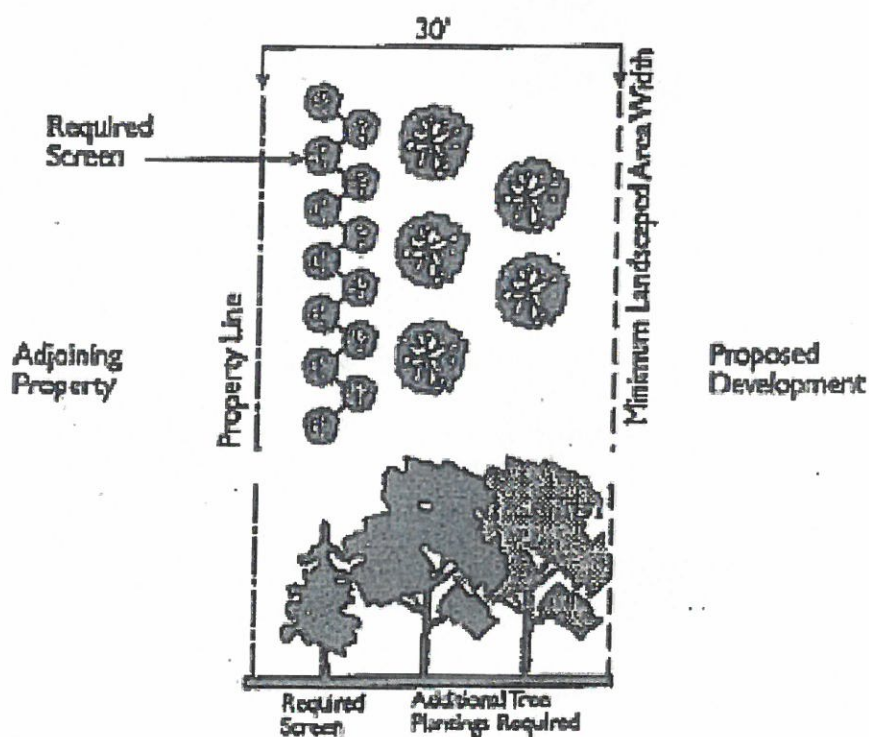
Table 14-708B Zoning Districts*	
Use	Zone
Industrial	I-1, MUBC
Commercial	C-1, C-2, C-3, MUTC and MUBC
University	U-1
High Density Residential	R-1-H, R-3 and MUTC
Low Density Residential	R-1-L, R-2 and AG
*When a mix of uses is involved the landscape shall be determined by the use.	



## B. Screening Type Standards

### 1. Type A – Thirty (30) feet deep Landscape Yard planted with:

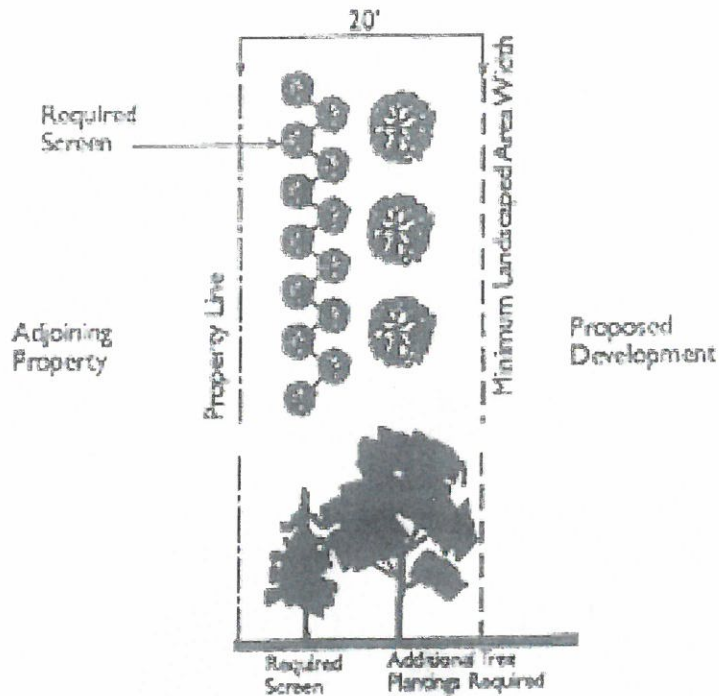
- Evergreen trees spaced a maximum of ten (10) feet on-center or two (2) staggered rows (spaced a maximum of seven (7) feet apart) of shrubs spaced a maximum of eight (8) feet on-center; and,
- Two (2) rows of Class 1 Shade Trees spaced a maximum of thirty-five (35) feet on-center.
- All plantings shall meet the installation and planting size requirements specified in **Section 14-713 Plant Installation Specifications**.



Example: Type A

### 2. Type B – Twenty (20) feet deep Landscape Yard planted with:

- Evergreen trees spaced a maximum of ten (10) feet on-center or two (2) staggered rows (spaced a maximum of seven (7) feet apart) of shrubs spaced a maximum of eight (8) feet on-center; and,
- One (1) row of Class 1 Shade Trees spaced a maximum of thirty-five (35) feet on-center.
- All plantings shall meet the installation and planting size requirements specified in **Section 14-713 Plant Installation Specifications**.



Example: Type B

3. **Type C** – Ten (10) feet deep Landscape Yard planted with:

- a) Evergreen trees spaced a maximum of ten (10) feet on-center or two (2) staggered rows (spaced a maximum of seven (7) feet apart) of shrubs space a maximum of eight (8) feet on-center.
- b) All plantings shall meet the installation and planting size requirements specified in **Section 14-513 Plant Installation Specifications**.

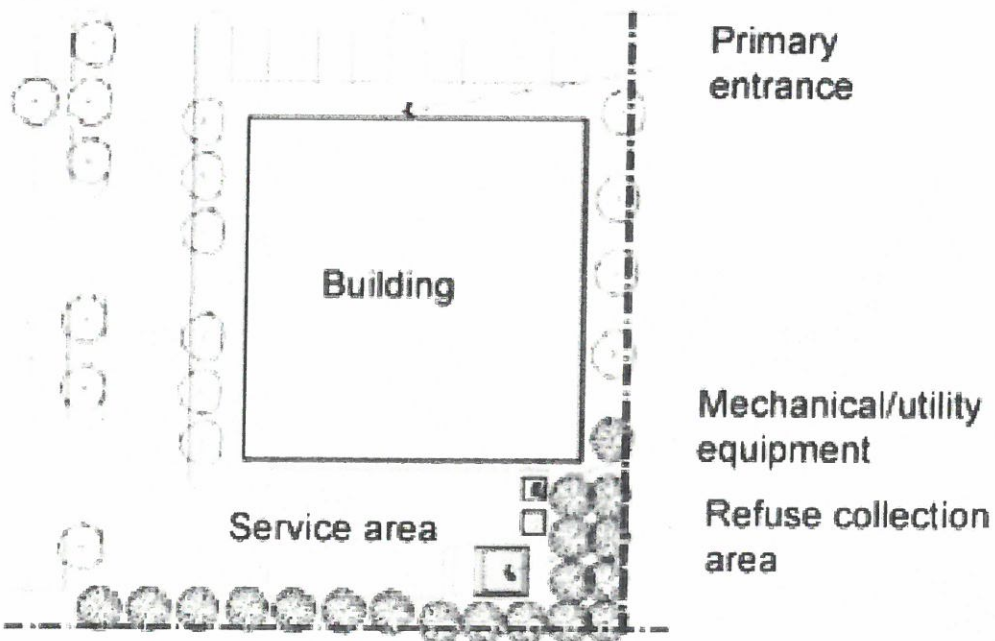
4. **Type D** – Screening of Dumpster to be screened as described below:

- a) Screening shall be a minimum height of six (6) feet;
- b) All four sides of the dumpster shall be screened;
- c) The screen should incorporate access to the dumpster by using a wood fence or other opaque device such as a gate. Chain link fencing is not allowed in this application.
- d) Screening materials can be any combination of wood, composite or masonry material.



Example: Properly Screened Dumpster

5. **Type E** – Service areas, maintenance areas, equipment areas, outdoor storage (of materials, stock or equipment), loading docks, berths, or similar spaces must be screened from offsite views (as described in Type C or Type D). Building or ground mounted mechanical or electrical equipment (including but not limited to transformers, sprinkler control boxes, pump stations, sewer stations, backflow preventers, telephone risers or equipment cabinets, generators or similar devices, water meters, gas meters, electrical meters, air-conditioning or similar HVAC equipment) must also be screened from offsite views (as described in Type C or Type D).



Example: Service Area Screening



Example: Vegetative Screen around HVAC system

6. **Type F** – Stormwater Facilities are subject to the following conditions:

- a) No rip-rap, crushed stone, concrete or other impervious materials are exposed.
- b) Trees and other living organic material can be planted along the stormwater facility as long as the plantings do not interfere with the intended use of the facility.
- c) The use of a Continuous Visual Screen consisting of a continuous hedge composed of a double staggered row of evergreen shrubs with a minimum planting height of thirty (30) inches and maximum center spacing of three (3) feet.



**Section 14-710.**

## **Foundation Planting**

- A. Building foundation landscaping is required on lots containing non-residential (excluding industrial) and high density residential development. shrubs shall be placed around the facades facing rights-of-way, a minimum of three (3) feet from the building.
- B. Foundation plantings shall work in concert with transition yard plantings to frame important views, while visually softening long expanses of walls, particularly those lacking windows and other architectural details. Foundation plantings shall be compatible with the materials and the form of the proposed building(s).
- C. The minimum width of the area provided to accommodate foundation plantings is as follows:
  - 1. A minimum of a three (3) foot planting area adjacent to building walls having an eave height of up to twenty (20) feet.
  - 2. A minimum of a six (6) foot planting area adjacent to building walls having an eave height of twenty (20) feet or more.
- D. Foundation plantings shall be installed across the entire length of facades facing rights-of-way, except where walkways and driveways are located.



Example: Foundation Planting



Example: Foundation Planting

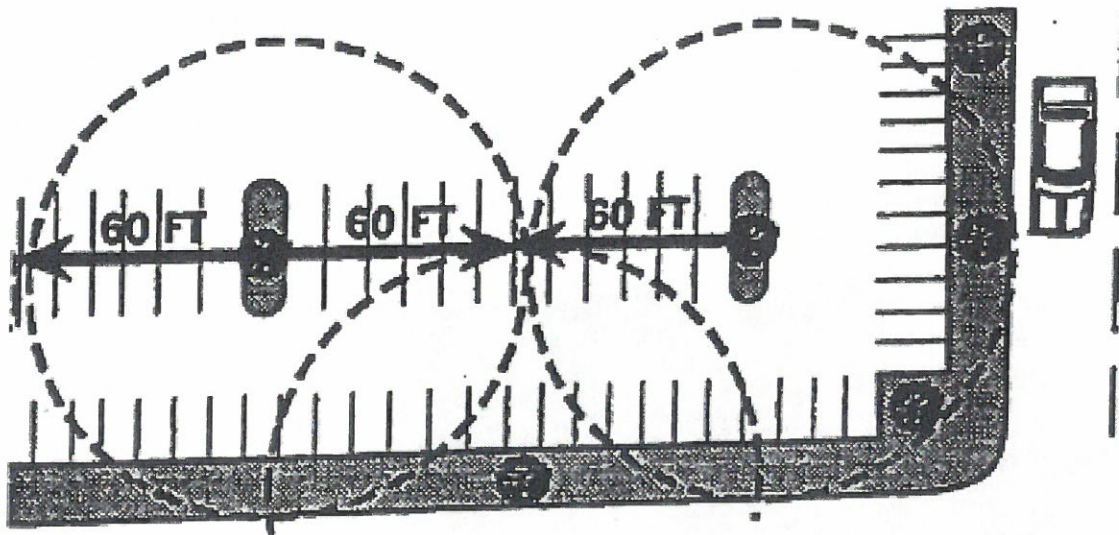
**Section 14-711.**

## **Parking Lot Requirements**

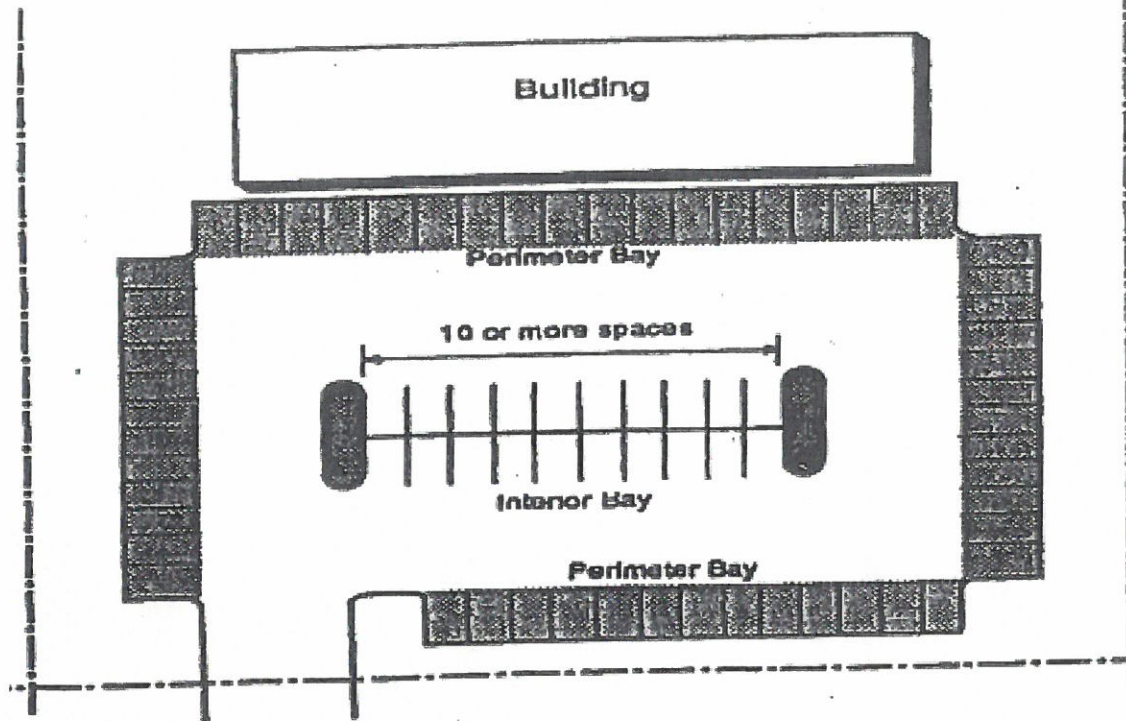
The intent of this Section is to break up the expanse of pavement, to provide shade, and to reduce glare from parked cars and loading docks.

**A. Design Criteria**

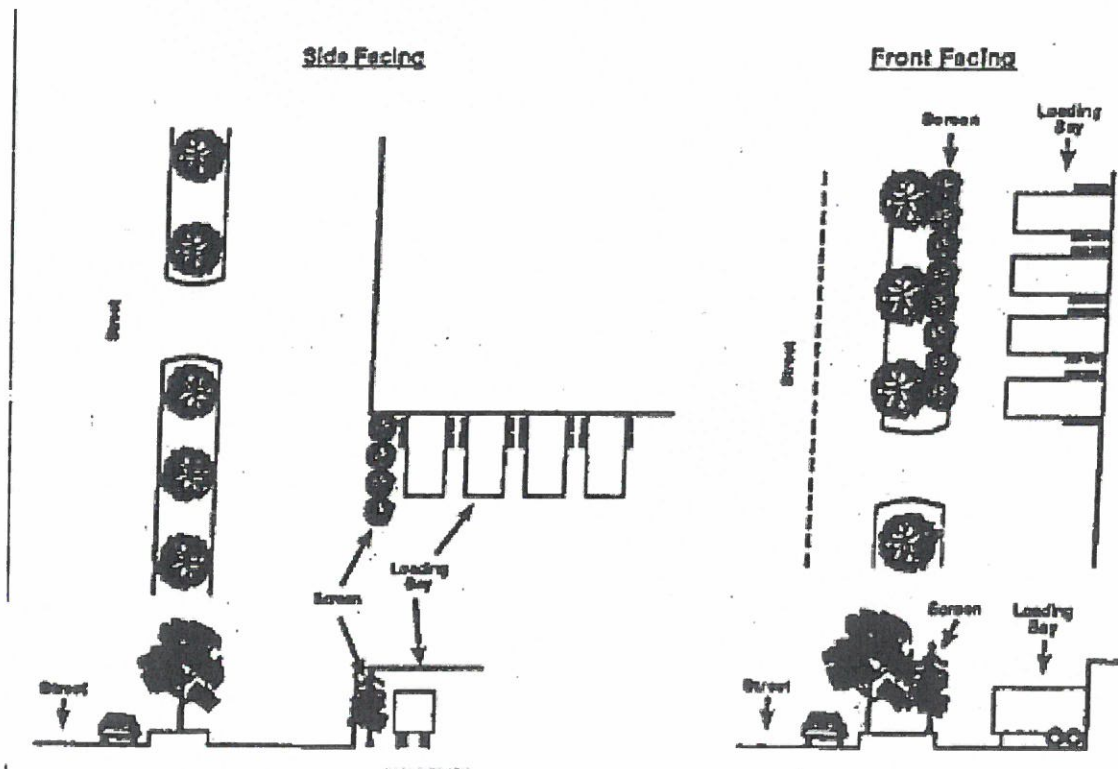
1. Any part of a parking space can be no more than sixty (60) feet from a tree. Refer to diagram below:



2. Ends of all interior parking bays that contain a minimum of ten (10) contiguous parking spaces shall be bordered on both sides by a landscape island. Refer to diagram below:



3. Ends of all perimeter parking bays shall be bordered by a landscaped peninsula. Refer to diagram below:

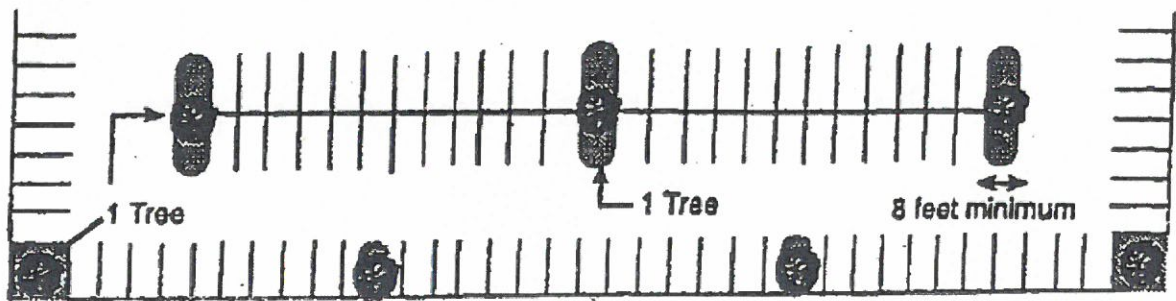




4. Side and front-facing truck delivery stalls and loading bays shall be screened from the public right-of-way as shown below:
5. The screening material for loading docks and delivery stalls shall consist of the following:
6. One (1) row of evergreen shrubs spaced a maximum of five (5) feet on-center or a row of evergreen trees spaced a maximum of ten (10) feet on-center as specified in **Section 14-713 Plant Installation Specifications**.

## B. Dimensions/Planting Criteria

1. Landscaped islands and peninsulas used to meet the landscape requirements:



2. Shall have a minimum width of eight (8) feet and a minimum landscaped area of 200 square feet;
3. Landscaped islands and peninsulas used to meet the landscaping requirements shall be planted with at least one tree.
4. The trees referred to in this parking Section are Class 1 Shade Trees as specified in **Section 14-713 Plant Installation Specifications**. In the special situations specified below, smaller Ornamental Shade Trees may be substituted for Class 1 Shade trees:
  - a) An overhead obstacle such as a canopy or power lines limits the tree height:
  - b) The tree is located within twenty (20) feet of a building.
5. All landscaped islands and peninsulas shall be bordered by a curb or a wheel stop.
6. Groundcover. All interior parking lot landscaped areas not dedicated to preservation of existing vegetation shall be landscaped with groundcover. A weed barrier shall be required.
  - a) Living Material. Living materials, such as grass, shall make up a minimum of 60% of the groundcover for the interior parking lot landscaping. One hundred percent (100%) of living materials is strongly encouraged.
  - b) Non-living material. Non-living materials, such as wood mulch, pine straw, or decorative rock (3/4" or smaller gravel in a natural color tone) may make up 40% of the

groundcover for the interior parking lot landscaping. A weed barrier shall be required. Brick pavers or other pavement is not appropriate non-living groundcover.

C. **Vehicular Display Areas.** Applicants shall select one of the following options for vehicular display areas:

1. Compliance with Standard. Comply with the interior parking lot landscaping requirements described in this Section and the requirements in **Section 14-706 Landscaped Street Yard**; or
2. Increase Street Yard. In lieu of the interior parking lot landscaping requirements, increase the required street yard to fifteen (15) feet wide and install the number of trees required for the interior landscape requirements within the street yard.

D. **Wheel Stops.** Except as provided below, all landscape areas at the front line of off-street parking spaces must be protected from encroachment of intrusion of vehicles through the use of wheel stops or curbs.

1. Minimum Height. Wheel stops shall have a minimum height of six (6) inches above the finished grade of the parking area.
2. Anchoring. Wheel stops shall be properly anchored and shall be continuously maintained in good condition by the property owner.
3. Location. Wheel stops shall not be placed in location of anticipated pedestrian traffic.

E. **Screened Backfill.** Soil used in parking lot islands, driveway medians, and other areas internal to a vehicular use area shall be screened prior to deposition in planting areas.

**Section 14-712.**

## **Utility Easements**

- A. **Intent.** To avoid damage to utility lines and landscape plantings, all trees and shrubs should be planted outside of existing and proposed utility easements.
  
- B. **Policy.** Any tree or shrub used to meet the requirements of this Section shall not be located within proposed or existing utility easements unless it meets one of the special exceptions as defined below.
  
- C. **Special Exceptions.** Special exceptions include the following:
  - 1. Written permission has been obtained from the holder of the utility easement.
  - 2. Where overhead power lines cross an area required by the ordinance to be planted with shade trees, smaller ornamental trees may be substituted.
  - 3. If none of the special exceptions above apply, the following options shall be considered in order of priority:
    - a) Priority 1. Plant the tree as close to the easement as possible.
    - b) Priority 2. For highly visible areas (street yard, parking lots in front) plant the tree in the same general area where it can be seen from the street or parking lot.



## Section 14-713.

# Plant Installation Specifications

- A. **Intent.** All landscaping materials shall be installed according to accepted planting procedures of the landscape industry. Planting methods and the season of planting will optimize chances for long-term plant survival.

## B. Table 14-713A Plant Installation Specifications.

1. **Class 1 Shade Trees.** These trees are intended to be used to meet the tree planting requirements specified in **Section 14-706 Landscaped Street Yard, Section 14-708 Landscape Perimeter, Section 14-711 Parking Lot Requirements, and Section 14-715 Residential Landscaping.** All Class 1 Shade Trees shall be installed at a minimum caliper of two (2) inches as measured from two and one half (2 ½) feet above grade level. Class 1 Shade Trees shall also have a minimum expected maturity height of at least thirty-five (35) feet and a minimum canopy spread of twenty (20) feet. Evergreen trees can be treated as Class 1 Shade Trees provided they meet the minimum maturity height and canopy spread criteria.
2. **Ornamental Shade Trees.** These trees are intended to be used for planting under overhead utility lines only where they encroach into the property. All Ornamental Shade trees shall be installed at a minimum caliper of one and one half (1 ½) inches as measured at two and one-half (2 ½) feet above grade level from the base of the tree. Ornamental Shade Trees shall have a maximum expected maturity height of twenty (20) feet and a minimum canopy spread of ten (10) feet.
3. **Screening Trees.** These trees are intended to be used to meet the tree planting requirements of **Section 14-709 Screening.** All Screening Trees shall be installed at a minimum height of eight (8) feet and have a minimum expected mature spread of eight (8) feet.
4. **Screening Shrubs.** These shrubs shall be installed at a minimum size of three (3) gallons and have an expected maturity height of at least eight (8) feet and a mature spread of at least five (5) feet.
5. **Foundation and Landscape Shrubs.** These shrubs shall be installed at a minimum size of three (3) gallons.
6. **Prohibited Plants.** These plants are prohibited from being used to meet these requirements due to problems with hardiness, maintenance or nuisance.

Table 14-713A

## Collegedale Plant Installation Specification (Common Name)

Please see notes in Section 14-713

Class 1 Shade Trees	Ornamental Shade Trees	Screening Trees	Screening Shrubs	Foundation and Landscape Plants	Prohibited Plants
American Hophornbeam	Amur Maple	American Arborvitae	Burford Holly	Azalea	Air-potato
American Hornbeam	Autumn Flowering Cherry	American Holly	Cherry Laurel	Barberry (all cultivars)	Amur Bush Honeysuckle
Bald Cypress	Bloodgood Japanese Maple	Atlas Cedar	Eastern Arborvitae	Burford Holly	Asian Bittersweet
Black Gum	Crapemyrtle	Canadian Hemlock	English Holly	Burning Bush	Autumn Olive
Chinese Pistache	Flowering Dogwood	Carolina Hemlock	English Laurel	Cherry Laurel	Bradford Pear
Dawn Redwood	Golden Raintree	Deodar Cedar	Leatherleaf Viburnum	Crape Myrtle	Bush Honeysuckle
European Hornbeam	Hedge Maple	Eastern Red Cedar	Nellie R. Stevens Holly	Creeping Juniper	Chinese Privet
Ginkgo (use male only)	Kousa Dogwood	Foster Holly	Wax Myrtle	Dwarf Burford Holly	Common Privet
Japanese Pogonadtree	Okame Cherry	Green Giant Arborvitae		English Holly	Common Reed
Japanese Zelkova	Redbud	Leyland Cypress		Ever-Blooming Rose	English Ivy
Katsura Tree	Serviceberry	Sapphire Cypress		Forsythia	Eurasian Water Milfoil
Littleleaf Linden	Sweetbay Magnolia	Shortleaf Pine		Foster Holly	Garlic Mustard
Northern Red Oak	Thornless Cockspear Hawthorne	Southern Magnolia		Fragrant Olive	January Jasmine
Overcup Oak	Trident Maple			Helleri Holly	Japanese Bamboo
Princeton American Elm	Winter King Hawthorne			Inkberry Holly	Japanese Grass
River Birch	Yoshino Cherry			Japanese Barberry	Japanese Honeysuckle
Scarlet Oak				Japanese Holly	Japanese Knotwood
Seedless Honey Locust				Leatherleaf Viburnum	Japanese Spiraea
Shumard Oak				Mop Cypress	Johnson Grass
Southern Sugar Maple				Nandina (all cultivars)	Kudzu
Sugar Maple				Otto Laurel	Mimosa
Swamp White Oak				Pfizer Juniper	Morrow's Bush Honeysuckle
Sweetgum				Shore Juniper	Mulberry
Water Oak				Skipp Laurel	Multiflora Rose
White Oak				Youpan Holly	Princess Tree
Willow Oak					Purple Loosetrife
Yellowwood					Sericea Lespedeza
					Siberian Elm
					Silver Maple
					Silver Poplar
					Tartarian Honeysuckle
					Thorny Olive
					Tree of Heaven
					Tropical Soda Apple
					Winter Creeper



**Section 14-714.**

## **Landscape Installation Requirements**

### **A. Location**

1. **Drainage.** Trees shall not be placed where they interfere with sight triangles.
2. **Overhead Utilities.** Trees shall not be placed where they require frequent pruning in order to avoid interference with overhead utility lines. In such locations, small Ornamental Trees are required to be placed where allowed by the utility company.
3. **Buried Utilities.** Landscaping shall be installed at locations that avoid placement directly above buried utilities.
4. **Fire Hydrants.** Landscaping shall not be placed within six (6) feet of a fire hydrant.

**B. Minimum Size.** All plant material shall meet the requirements established by the American Association of Nurserymen publication "American Standard for Nursery Stock" (ANSI Z60.1 latest version). Immediately upon planting, trees shall meet the minimum requirements:

1. **Class 1 Shade Trees** – two and on-half (2 ½) inches in caliper
2. **Ornamental Trees** – two (2) inches in caliper
3. **Evergreen Trees** – eight (8) feet in height
4. **Shrubs** – twenty-four (24) inches in height and in a three (3) gallon pot, if not ball and wrapped in burlap.
5. **Species Mix.** When more than ten (10) trees are to be planted to meet the requirements of this Ordinance, a mix of species shall be provided. The number of species to be planted shall vary according to the overall number of trees required to be planted. The minimum number of species to be planted is listed below. Species shall be planted in proportion to the required mix. This species mix shall not apply to areas of vegetation required to be preserved by law.
  - a) Number of required trees: 11 – 20 trees = two (2) species (but no more than 70% of each)
  - b) Number of required trees: 21 – 30 = three (3) species (but no more than 40% of each)
  - c) Number of required trees: 31 – 40 = four (4) species (but no more than 40% of each)
  - d) Number of required trees: 41+ = five (5) species (but no more than 40% of each)



Section 14-715.

## Tree Preservation Credits

- A. **Healthy Trees.** No tree preservation credits will be allowed for any dead tree, any tree in poor health or any tree subjected to grade alterations.
- B. **Protection during Construction.** Trees for which credit is given shall be protected during construction from:
1. Mechanical injuries to root, trunk, and branches;
  2. Injuries by chemical poisoning;
  3. Injuries by excavation; and,
  4. Injuries by paving.
- C. **Credit Options.** If an applicant is preserving trees, the applicant may use the existing trees as credit either toward a reduction in parking requirements or in a reduction of the number of trees required, as described below and as approved by the City of Collegedale Planning Commission.
- D. **Reduction of Parking Requirements.** To allow an existing or new development to preserve trees within or adjacent to a parking lot, the number of required off-street parking spaces may be reduced as described below:
1. **Parking Space Reduction Credits**
    - a) Total Diameter of all preserved trees: 4 – 7.9 inches = one (1) parking space credited
    - b) Total Diameter of all preserved trees: 8 – 22.9 inches = two (2) parking spaces credited
    - c) Total Diameter of all preserved trees: 23 – 29.9 inches = three (3) parking spaces credited
    - d) Total Diameter of all preserved trees: 30+ inches = four (4) parking spaces credited
  2. **Reduction of Required Trees.** Preservation and protection of existing trees on the lot may be credited toward the tree planting requirements. Credit for preserved trees shall be permitted at the following rates:
    - a) Diameter of preserved tree: 4 – 7.9 inches = one (1) shade tree
    - b) Diameter of preserved trees: 8 – 22.9 inches = two (2) shade tree
    - c) Diameter of preserved trees: 23 – 29.9 inches = three (3) shade tree
    - d) Diameter of preserved trees: 30+ inches = four (4) parking shade tree

Section 14-716.

## **Stormwater Credits**

**RESERVED FOR FUTURE USE**

Section 14-717.

## Residential (R-1-H, R-1-L, R-2, and AG)



- A. This section applies only to low-density residential development as specified below.
- B. A minimum of two (2) Class 1 Shade Trees or four (4) Ornamental Trees as specified by **Section 14-713 Plant Installation Specifications** (minimum size) shall be planted in the front yard, or within ten (10) feet of front of residence in the side yard, for each new residential lot in the R-1-H, R-1-L, R-2, and AG zones. Zone R-3 for the purposes of this Ordinance is considered to be a "Commercial" (high density residential) development and must comply with the Sections on Commercial (high density) developments. Trees existing in the front lawn can be credited towards the Landscaping Requirements as per **Section 14-716 Tree Preservation Credits**. The tree or trees shall be planted prior to being issued a Certificate of Occupancy. Screening requirements in **Section 14-709 Screening** are required to be installed prior to being issued a Certificate of Occupancy. (Screening requirements met with shrubbery cannot be used to offset shrubbery requirements within this Section.) Shrubs will be required at a rate of seven (7) per 1,000 heated square feet of a residential dwelling and will comply with all standards and planting requirements within this Ordinance, and will be installed prior to being issued a Certificate of Occupancy. Lawn grass is required in all front yards and areas of property visible from road frontage, and required to be at a height of three (3) inches prior to being issued a Certificate of Occupancy. Whether the lawn is seeded and straw on it or sod is used the height of the grass must be a minimum of three (3) inches in height.

For example, prior to being issued a Certificate of Occupancy for a 2,400 square foot house the following must be done to meet the requirements of this Ordinance:

- A minimum of sixteen (16) – three (3) gallon shrubs must be planted;
- The grass on the lawn must be at a minimum of three (3) inches in height;
- Air conditioning equipment, electrical, gas, and water meters must be screened;



- A minimum of two (2) Class 1 Shade Trees or four (4) Ornamental Trees must be planted.

C. Exemptions

A property owner, builder or developer may request exemption from these requirements if the following conditions are present:

- 1) The lot is at least than two (2) acres in area, and;
- 2) The residence is constructed more than three hundred feet from any public right-of-way; and
- 3) Natural tree cover is retained and maintained to an extent that screens the residence from public rights-of-way.
- 4) Residences located on lots greater than ten (10) acres and located over five hundred (500) feet from public rights-of-way.

**Section 14-718.**

## **Enforcement and Maintenance**

- A. **Final Occupancy Permit.** If the landscaping has not been installed and inspected for proper installation prior to receiving the Certificate of Occupancy, a Temporary Certificate of Occupancy may be granted provided the following conditions are met:

1. Property owner posts a performance bond with the City Finance Department;
2. The amount of the bond or letter of credit shall be based on material and installation costs of the uninstalled landscape material, including a 25% contingency cost, as shown on the submitted landscape plan; and,
3. The cost of the landscaping shall be certified by a licensed landscape contractor.

After receiving the Temporary Certificate of Occupancy, the remaining landscape material shall be installed within ninety (90) days from the date the Certificate of Occupancy is issued. The bond shall be called if the required landscaping has not been installed by the end of the ninety (90) day period and the funds will be applied to complete the landscaping work.

- B. **Maintenance.** Landscape maintenance specifications are as follows:

1. The owner shall be responsible for the maintenance of all landscape areas not in the public right-of-way.
2. Unless otherwise specified by the City, owners shall be responsible for maintaining street trees planted adjacent to the site in conjunction with construction.
3. Homeowners Associations are responsible for the maintenance of open lots, medians, street trees associated with the development.
4. Landscape areas shall be maintained in accordance with the approved Landscape Plan and shall present a healthy and orderly appearance free from refuse and debris.

5. All plants shown on an approved Landscape Plan used to meet a minimum requirement of this Ordinance shall be replaced if they die, are seriously damaged, or a new timeline for a new landscape plan and new landscaping is installed.

**C. Damage Due to Natural Occurrence**

1. In the event that any vegetation or physical element functioning to meet the standards of this subsection is severely damaged due to an unusual weather occurrence or natural catastrophe, or other natural occurrence such as damage by wild animals, the owner or developer will be required to replant if the landscape standards are no longer met.
2. The owner shall have one growing season to replace or replant.

**D. Protection During Operations.** The owner or developer shall take actions to protect trees and landscape from unnecessary damages during all facility and site maintenance operations. Plants shall be maintained in a way that does not obstruct sight distances or roadway and drive intersections, obstruct traffic signs or devices, and/or interfere with the use of sidewalks or pedestrian trails.

**E. Maintain Shape.** All required trees shall be maintained in their characteristic natural shape, and shall not be severely pruned, sheared, topped, or shaped as shrubs. Trees required by this chapter that have been severely pruned, sheared, topped, or shaped as shrubs that no longer meet their intended function shall be considered as damaged vegetation in need of replacement, and shall be replaced within one growing season.





Example: Severe pruning or shaping interferes with the tree's intended purpose as a screening element, and may require the tree to be replaced.

#### Section 14-720.

## Appeals

Any person aggrieved by the administration, interpretation, or enforcement of this Section may appeal to the Board of Zoning Appeals within sixty (60) days of the City of Collegedale's decision. Decisions of the Board of Zoning Appeals may be appealed to a court of competent jurisdiction. Should any court of competent jurisdiction find any portion of this Section to be unlawful or unconstitutional, such finding shall not affect this Section as a whole or any portion of it not found invalid.

Unique factors relating to topography, soil and vegetation conditions, space limitations, or uses of neighboring property may make landscaping impossible, ineffective or unnecessary. Section 14-705 Hardships provides administrative remedies and guidelines where the strict application of the City of Collegedale Landscape Ordinance would create an undue hardship. If the administrative remedies and guidelines as described within **Section 14-705 Hardships** do not relieve the undue hardship, requests for use of alternative landscaping schemes or variances are justified only when one or more of the following conditions apply:

1. Topography, soil, vegetation, or other site conditions are such that full compliance is impossible, impractical, or ineffective. If the request is a variance in the screening requirements, a letter shall be required from the owners of the abutting property to acquiesce with the variance or alternative landscaping scheme.



2. Due to a change of use of an existing site, the required screening requirements (**Section 14-706 Landscaped Street Yard**) are larger than can be provided as required by the provisions of this Ordinance.
3. The site involves space limitations or unusually shaped parcels.
4. When the strict application of this Landscape Ordinance would impact the safety of the general public. A variance application must be completed and a \$100.00 fee submitted to the City of Collegedale Codes and Inspection Department.

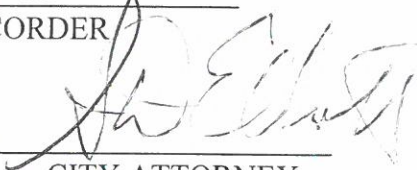
**NOW, LET IT BE FURTHER ORDAINED**, that this ordinance shall take effect fifteen (15) days following final reading by the Collegedale Board of Mayor and Commissioners, the welfare of the City requiring it.

PASSED ON FIRST READING: 9/3/13

PASSED ON FINAL READING: 9/16/13

  
MAYOR

ATTEST:   
CITY RECORDER

APPROVED AS TO FORM:   
CITY ATTORNEY

